

JAMES
SELLICKS



Market Place

BILLESDON, LEICESTERSHIRE

A rare opportunity to acquire a characterful and charming three-bedroom period terraced cottage occupying a prime position on Billesdon's historic Market Place. Rich in character and offering exciting potential, the property is offered with the benefit of no upward chain and is thought suitable to extend at the rear (subject to necessary consents).

- Charming period terraced home
- Prime position on Billesdon's historic Market Place with views over the village green
- Two versatile reception rooms with character features
- Spacious fitted kitchen offering scope for modernisation
- Three bedrooms
- Bathroom
- Two WCs
- Enclosed rear garden
- Sought-after central village location with strong community feel
- Excellent access to local transport links and rail connections in Leicester and Market Harborough
- Within walking distance of village shops, pubs, GP surgery and primary school
- No upward chain

Accommodation

Full of warmth and timeless appeal, this delightful three-bedroom period terraced home is ideally positioned within the historic heart of Billesdon village, overlooking the Market Place and enjoying a strong sense of community alongside everyday convenience.

Inside, the home offers two generous reception rooms filled with character, featuring original wooden flooring, traditional window frames and period detailing that create a welcoming and homely atmosphere. The living room centres around a traditional fireplace, while the kitchen and overall layout provide a solid foundation for improvement. The property is ripe for refurbishment or reconfiguration, subject to the necessary planning consents, offering an exciting opportunity for purchasers to modernise and personalise the space to suit their own lifestyle.

Externally, the attractive period frontage immediately sets the tone, while the enclosed rear garden offers a private and peaceful setting ideal for outdoor seating, entertaining or quiet relaxation. In addition there is a brick built outhouse and a wooden shed offering storage.

The location is a key highlight, with village amenities including the shop, pub, GP surgery, hairdressers and primary school all within easy walking distance. Excellent transport links nearby further enhance the appeal, making this an ideal choice for those seeking the charm of village living combined with future potential.

Location

Billesdon is a thriving east Leicestershire village situated equally between Leicester, Market Harborough and Oakham, just off the A47.

The village offers an unrivalled range of amenities for a village of modest size, with a doctor's surgery, village store, post office, community centre, village school, two public houses and numerous clubs and societies creating a genuinely strong community spirit.

There are wider choices for education in the local area, with access to Church Langton Primary School, Great Glen, Oakham, Uppingham, Oundle and Stamford. Hallaton and Rugby primary schools are also nearby.





Property Information

Tenure: Freehold

Local Authority: Harborough District Council

Listed Status: Not Listed

Conservation Area: Yes, Billesdon

Tax Band: E

Services: The property is offered to the market with all mains services and gas and electric central heating

Broadband delivered to the property: FTTC

Non-standard construction: Believed to be of standard construction

Wayleaves, Rights of Way & Covenants: There is a right of way from the garden gate to the back of the neighbours to the main road for putting out the bins

Flooding issues in the last 5 years: No

Accessibility: No modifications at the property

Cladding: No

Planning issues: None our clients are aware of

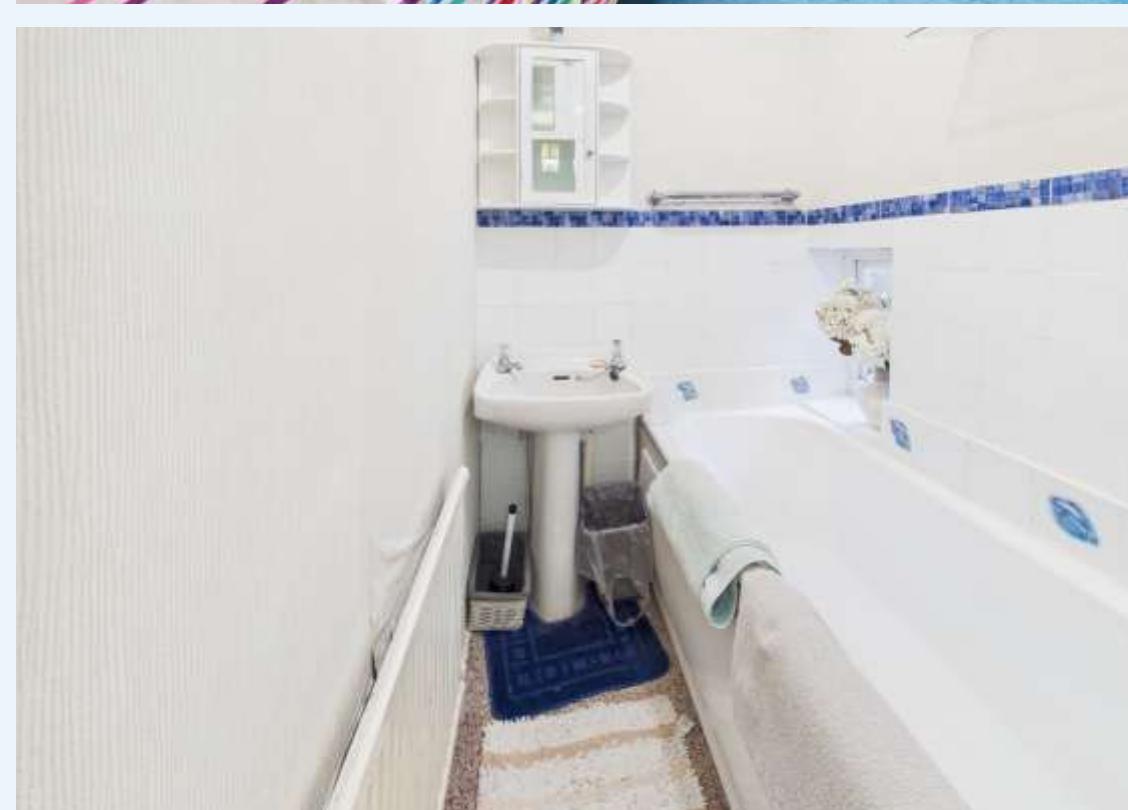
Coastal erosion: None

Coal mining in the local area: None

Satnav Information

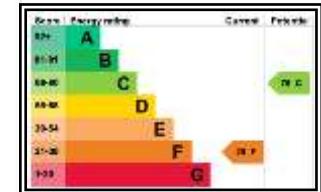
The property's postcode is LE7 9AJ, and house number 9







Approximate total area⁽¹⁾
100 m²
1077 ft²



(1) Excluding balconies and terraces

Reduced headroom
Below 1.5 m/5 ft

Calculations reference the RICS IPMS
3C standard. Measurements are
approximate and not to scale. This
floor plan is intended for illustration
only.



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Measures and Other Information

All measurements are approximate. Whilst we endeavour to make our sales particulars accurate and reliable, if there is any point which is of particular importance to you, please contact this office and we will be pleased to check the information for you, particularly if contemplating travelling some distance to view the property.



Village Green



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